

<b>APPLICATION NO</b>	<b>2006/1051</b>
<b>APPLICANT</b>	Mrs E I Hill
<b>DEVELOPMENT</b>	Planning permission to erect a detached dwelling
<b>LOCATION</b>	Land adjacent to 7 Meggitt Lane, Winteringham
<b>PARISH</b>	<b>WINTERINGHAM</b>
<b>WARD</b>	Burton Stather and Winterton
<b>SUMMARY RECOMMENDATION</b>	<b>Grant permission subject to conditions</b>
<b>REASONS FOR REFERENCE TO COMMITTEE</b>	Third party request to address the committee
<b>POLICIES</b>	<p><b>Humberside Structure Plan:</b> Policy S11 identifies Winteringham as a selected settlement.</p> <p><b>Regional Spatial Strategy for Yorkshire and the Humber:</b> No specific policies apply.</p> <p><b>North Lincolnshire Local Plan:</b> Policy H5 (New Housing Development) states that new housing development should be in keeping with the scale and character of the settlement and immediate environment; have an area of private amenity space; not result in overlooking, loss of privacy, loss of light or other loss of amenity to existing dwellings.</p> <p>Policy HE2 (Development in a Conservation Area) applies. This policy states that all development proposals in conservation areas should preserve or enhance the character and appearance of the area and its setting.</p> <p>Policies H3 (Previously Used Land), H8 (Housing Mix and Design) and DS1 (General Requirements) also apply.</p>
<b>CONSULTATIONS</b>	<b>Highways:</b> No objections subject to conditions.
<b>PARISH COUNCIL</b>	<p>Offer the following material comments in relation to the amended plans:</p> <ul style="list-style-type: none"> <li>• The proposed house will tower over nearby bungalows.</li> <li>• The proposed house is a large dwelling for a relatively small plot.</li> </ul>

- The application should 'bear in mind' that the site is within the conservation area and opposite the church.
- Meggitt Lane is a single track road in a poor state of repair, it has no footpaths and already has problems with surface water drainage.
- Raises questions over whether the drainage system could support another dwelling.
- The proposed dwelling should be a bungalow situated in the middle of the plot as opposed to a large house.
- Meggitt Lane is a relatively narrow road and the entrance comes out onto a bend. Is visibility acceptable?

## **PUBLICITY**

Neighbouring properties have been notified, and site and press notices posted. A number of objection letters have been received in respect of the amended plans. The following material issues have been raised:

- The proposed access is on a very tight bend with a restricted view for traffic emerging onto Meggitt Lane, which has inadequate street lighting and no footpath.
- There are problems with the existing drainage.
- There will be a loss of sunlight and privacy which 'would be at the detriment of the local area and make a complete mockery of the conservation of the area and planning laws'.
- The proposal would contravene the previous planning permission 7/496/82, which states that no more than 3 dwellings shall be erected on site – three bungalows have since been erected.
- The proposed dwelling only occupies half of the plot, leading neighbours to suspect a second dwelling will be added at a later date.
- The reduction in stature of the boundary hedge, which currently provides an effective screen, should not be allowed.
- Winteringham conservation area appraisal states that the main contribution to the conservation area is the survival of a rural character defined by the trees and hedges and informal verges.

- The proposed dwelling is inappropriate for this site and area, and if this site is to be built upon, it should only be occupied by one bungalow.
- The 'green area' of the site should be protected.
- There will be overlooking to neighbouring properties.

The following additional comments were received in respect of the original plans:

- The proposal is cramped in appearance leading to an adverse impact on the character of the area.
- The proposal is out of keeping with the conservation area.
- There will be increased traffic generation to the detriment of highway safety and amenity of neighbouring properties.
- The proposal would set a precedent for nearby residents to subdivide their plots.
- The proposed dwelling would be contrary to the Winteringham conservation area appraisal, as it is not sympathetic to surrounding buildings, particularly the neighbouring property which is a building of townscape merit.

## **ASSESSMENT**

Planning permission is being sought to erect a dwelling on what is currently a side garden area to 7 Meggitt Lane. There is currently a large conifer hedge to the boundary with Meggitt Lane. It is proposed to retain the majority of this hedge with the exception of removing approximately 6 metres to create an access into the plot. It should be noted that the height of the hedge would have to be reduced to allow adequate vehicular visibility.

The site is located within the conservation area. Within the development boundary there are a mix of house types and styles within the vicinity: a bungalow to the north-east; traditional two-storey houses to the south; and 1960s style two-storey houses to the north, on the opposite site of Meggitt Lane.

**The main issues in determining this application are whether the proposed dwelling is acceptable in this location in terms of design, size, impact on amenity of neighbouring properties and character of the conservation area and whether the access to the**

**proposed dwelling would compromise highway safety.**

The original plans submitted with the application were considered to be unacceptable in terms of bulk and design. The amended plans have since been received amending the design of the dwelling. The ridge height of the dwelling was reduced, window designs amended and the footprint amended to reduce the overall bulk of the dwelling. An additional car parking space has been provided, and the agent has confirmed that the northern half of the plot is to remain as garden area to 7 Meggitt Lane.

One of the main reasons for the objection is that the proposed dwelling is for a two-storey house and not a bungalow. There are bungalows located to the north-east of the plot, however it should be noted that the dwelling to the south is a two-storey house and there are other houses in the vicinity.

In terms of overlooking, loss of privacy and loss of light, the nearest point of the proposed dwelling is 15 metres from the dwelling to the south. There are no first floor windows proposed in this part of the dwelling. One first floor window serving a bedroom is proposed in the southern elevation, however, due to the distances involved, it is not considered that there will be any significant overlooking. Similarly, the proposed window in the first floor rear (east) elevation will be some 10 metres from the rear boundary and any overlooking will only be to the far rear garden area of the dwelling to the east.

With regard to the removal of the hedge, only part of this hedge is to be removed to allow access to the site. A condition is proposed to ensure the remainder of the hedge is protected. However, the height of the hedge will have to be reduced to allow adequate visibility for vehicles entering the site. It is not considered that the site forms an important green area, as it is currently domestic garden area which is screened by the existing boundary hedge. Additionally, it is not considered that the removal of this part of the hedge would adversely affect the character of the area.

The design, height and siting of the dwelling are considered to be acceptable and in keeping with the character and appearance of the conservation area. A condition is proposed to ensure traditional materials are used. Due to the separation distance between, it is not considered that the dwelling will tower over the

bungalows to the north. Similarly, it is not considered that the plot is small in relation to the size of the proposed dwelling.

Several of the objection letters raise an issue regarding a previous planning application (7/496/82), which states that no more than three dwellings shall be erected on the site. This application seeks to add a fourth dwelling to the site, and as the scheme complies with current local plan policies, it is considered to be acceptable. Each application should be considered on its own merits and the imposition of an earlier condition should not necessarily preclude a change later providing the submitted design is considered acceptable.

The application does only involve development of the southern half of the site. Objections have been received on the grounds that a second dwelling could be proposed on the northern part of the plot. This is speculation and each case is judged on its merits. The agent has also confirmed that this part of the site will remain as garden area to the existing dwelling. This objection therefore cannot be sustained.

With regard to access and traffic issues, Highways have been consulted and do not object to the application. A condition is proposed to reduce the height of the boundary hedge to allow adequate visibility. Two parking spaces and a turning area are also proposed within the plot.

Concerns have also been raised in respect of drainage. It is proposed that all drainage will be to the existing sewer. The drainage board do not object to this proposal. This objection therefore cannot be sustained.

The Sites and Monuments Records officer has no objections relating to archaeology subject to a condition relating to a watching brief.

## **RECOMMENDATION**

### **Grant permission subject to the following conditions:**

1.

The development must be begun before the expiration of three years from the date of this permission.

#### **Reason**

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development shall be carried out in accordance with the submitted drawings and particulars unless otherwise agreed in writing by the local planning authority in which case the development shall be carried out in accordance with the agreed amended details.

Reason

To ensure that the development is carried out in accordance with the provisions of the Town and Country Planning Act 1990 or any amending legislation.

3.

No loose material shall be placed on any driveway or parking area within ten metres of the adopted highway unless measures are taken in accordance with details to be submitted to and approved in writing by the Local Planning Authority to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

4.

Nothing shall at any time, whether permitted by the Town and Country Planning General (Permitted Development) Order or not, be erected, retained, planted or allowed to grow over 1.05 metres in height above the level of the adjoining carriageway for a distance of 2m from the highway boundary across the site frontage.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

5.

The dwelling shall not be occupied until the vehicular access to it and the vehicle parking and turning space(s) serving it have been completed and, once provided, the vehicle parking and turning space(s) shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

6.

No development shall take place until samples of the external facing materials to be used have been submitted

to and approved in writing by the Local Planning Authority and only the approved materials shall be used.

Reason

To ensure that the building is in keeping with its surroundings in the interests of visual amenity, in accordance with policy DS1 of the North Lincolnshire Local Plan.

7.

No development shall take place until detailed scale drawings of windows and doors in the hereby approved dwelling are submitted to and approved in writing by the Local Planning Authority. The approved windows and doors shall be constructed from timber and thereafter be retained as such.

Reason

To ensure that the building is in keeping with its surroundings in the interests of visual amenity, in accordance with policy DS1 of the North Lincolnshire Local Plan.

8.

The boundary hedge to the plot frontage shall be retained at a height of 1.05m in accordance with details to be approved in writing by the Local Planning Authority.

Reason

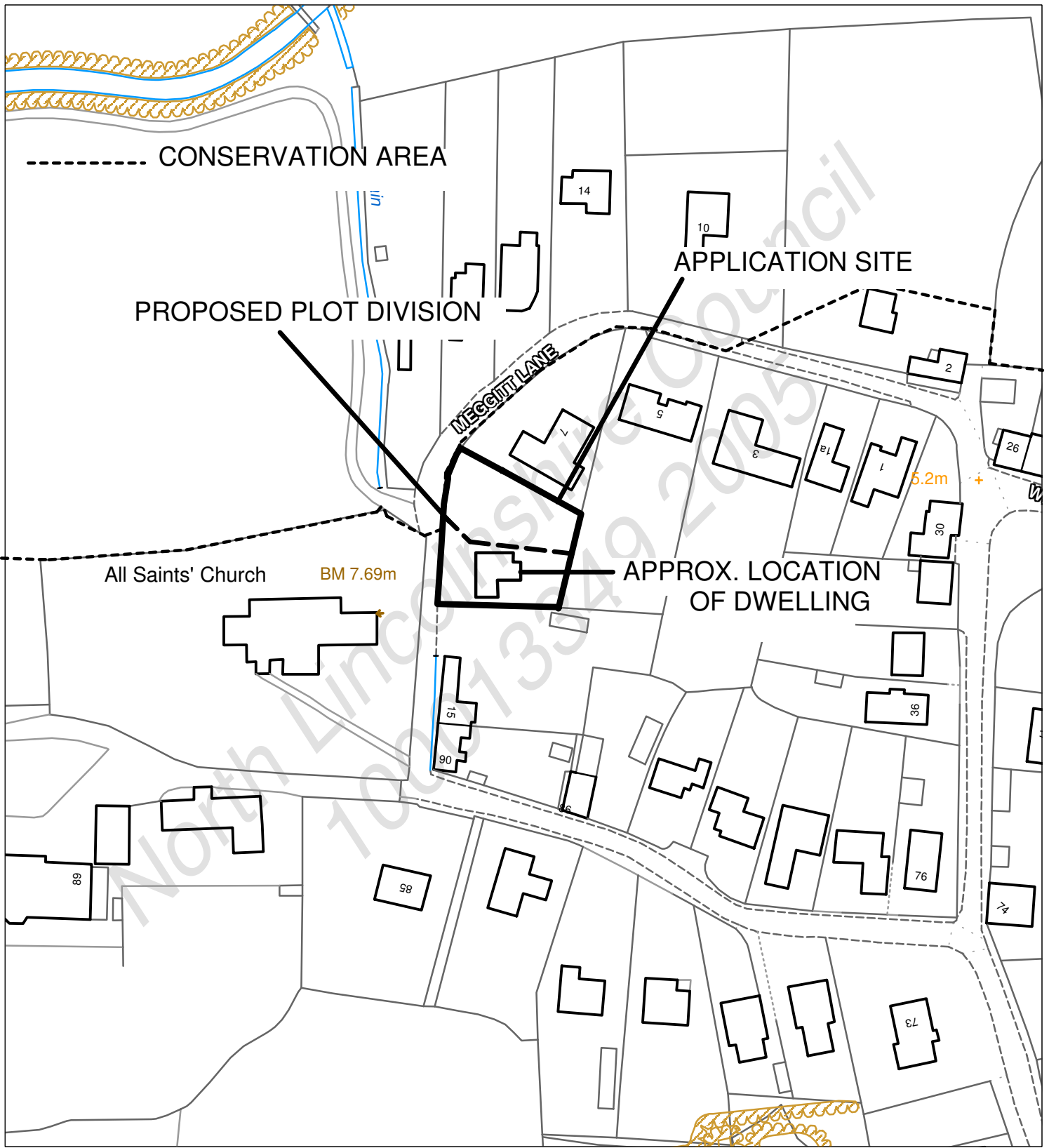
To define the terms of the permission and to ensure the development is in keeping with its surroundings.

9.

No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation, including a timetable for the investigation, which has been submitted by the applicant at least 14 days prior to the proposed commencement date, and approved in writing by the Local Planning Authority.

Reason

To comply with policy HE9 of the North Lincolnshire Local Plan because the site lies in an area of archaeological interest.



TITLE: 2006/1051

SCALE: 1:1250



North Lincolnshire Council  
 Planning and Regeneration Service  
 Church Square House, Scunthorpe, DN15 6XQ

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